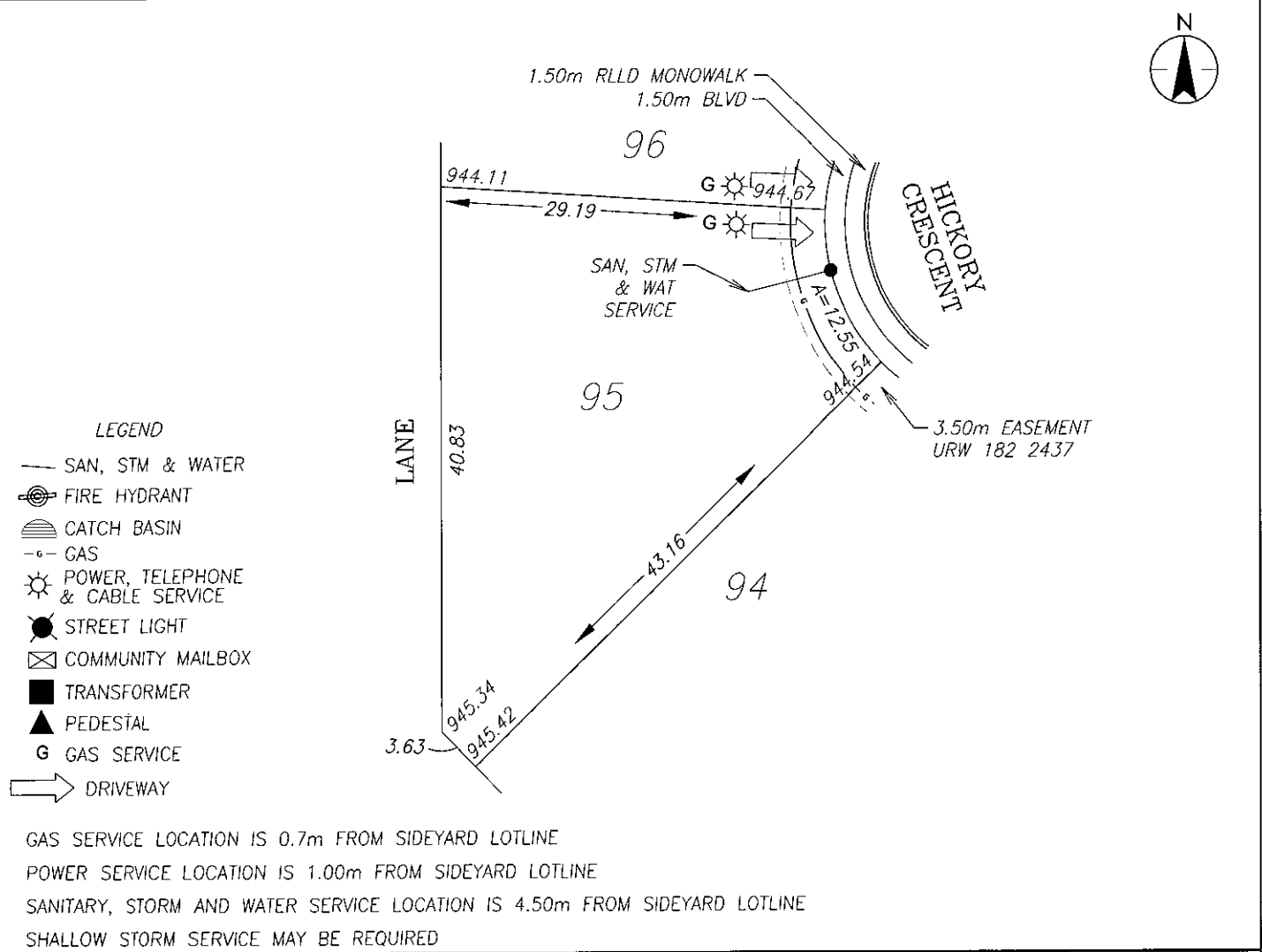
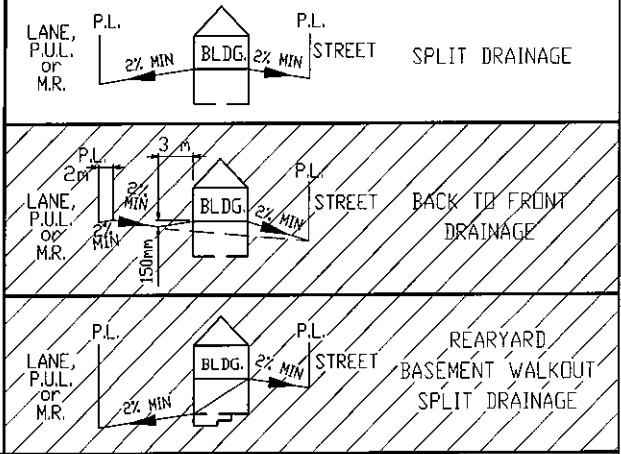


# BUILDING GRADE CERTIFICATE

Town of Innisfail  
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE RIGHT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE LEFT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE TOWN OF INNISFAIL ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, STM & WATER
  - ☉ FIRE HYDRANT
  - ☂ CATCH BASIN
  - G- GAS
  - ☀ POWER, TELEPHONE & CABLE SERVICE
  - ☼ STREET LIGHT
  - ☒ COMMUNITY MAILBOX
  - TRANSFORMER
  - ▲ PEDESTAL
  - G GAS SERVICE
  - ➡ DRIVEWAY

GAS SERVICE LOCATION IS 0.7m FROM SIDEYARD LOTLINE  
 POWER SERVICE LOCATION IS 1.00m FROM SIDEYARD LOTLINE  
 SANITARY, STORM AND WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE  
 SHALLOW STORM SERVICE MAY BE REQUIRED

TOP OF FOOTING:	CIVIC ADDRESS: 5821 HICKORY CRESCENT
MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.5'	LOT: 95 BLOCK: 7 PLAN No.: 182 2436
LOWEST ELEVATION = 942.74	DEVELOPER: -AZELWOOD ESTATES INC. SCALE: 1:500
AS-BUILT SEWER INVERT ELEVATIONS:	DRAWN BY: STANTEC CONSULTING LTD. DATE: SEP 24, 2018
SANITARY AT 6.5m INSIDE LOT = 941.25	APPROVED BY: TRAVIS FULLER, P.ENG DATE: SEP 24, 2018
STORM AT 6.5m INSIDE LOT = 941.89	RECEIVED BY: DATE:

DESIGN LANDSCAPE ELEVATIONS  
 ELEV. AT FRONT OF HOUSE = 944.97  
 ELEV. AT REAR OF HOUSE = 945.72

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) \_\_\_\_\_ (REAR) \_\_\_\_\_  
 SIGNATURE OF OWNER OR REPRESENTATIVE \_\_\_\_\_